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Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, PLANNER II *SB*
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: APRIL 1, 2020

SUBJECT: DR20-47, BUSHTEX

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow for the expansion of an existing satellite transmission company.

REQUEST

DR20-47, Bushtex: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.15 acres, generally located east of the southeast corner of Cooper and Guadalupe Roads and zoned Light Industrial (LI).

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Helmut John Hammen Architect LLC
Name: John Hammen
Address: 8337 E. Monterey Way
Scottsdale, AZ 85251
Phone: 602-758-7437
Email: helmutjohn@hotmail.com

OWNER

Company: Kamalei Properties LLC
Name: Adelaida Severson
Address: 723 W. Guadalupe Road
Gilbert, AZ 85233
Phone: 480-471-6688
Email: adeliada@bushtex.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>April 8, 1974</i>	Town Council adopted Ordinance No. 154 and annexed land into the Town of Gilbert limit including the subject site.
<i>Between 1969-1976</i>	The main office structure was built as a single-family residence on the subject site.
<i>Between 1976-1993</i>	Other structures are built on the property.
<i>February 23, 2011</i>	Staff approved an Administrative Design Review to update the retention on site and construct a new screen wall.
<i>April 11, 2011</i>	Staff approved an Administrative Design Review for an addition to the main office; addition was not built.

Overview

The applicant is seeking approval of a new warehouse/office building on an existing industrial site operated by Bushtex, a satellite telecommunications facility. The site is 3.15 acres and is currently developed with a main office (previously a single-family house), a modular office building, storage building, and metal warehouse building used for satellite repairs. The applicant is redesigning the site to demolish all buildings aside from the main office to build a new 19,840 square foot manufacturing, warehouse, and 2-story office facility to accommodate the expanding company.

The site is located at 723 W. Guadalupe Road east of the southeast corner of Cooper and Guadalupe Roads. The site has two existing access points on Guadalupe Road, one full motion and one right in/right out, that were recently reconstructed with ST094 capital improvements project to widen Guadalupe Road.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Neighborhood Commercial	Neighborhood Commercial (NC) PAD	Casa De Cooper commercial center
South	Utility/Transportation Light Industrial	Public Facilities/Institutional	Railroad and industrial uses
East	Light Industrial	Light Industrial (LI)	Industrial storage yard
West	Light Industrial	Light Industrial (LI)	Vehicle services business
Site	Light Industrial	Light Industrial (LI)	Bushtex

Project Data Table

Site Development Regulations	Required per LDC	Proposed LI
Maximum Building Height (ft.)/(Stories)	55'	32'
Minimum Building Setback (ft.)		
Front	30'	55'
Side (Employment)	0'	44'

Rear (Public Facility/Institutional)	15'	90'
Separation Between Buildings (ft.)	20'	24'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	0' (existing)
Side (Employment)	5'	5' or 0' within an enclosed service yard
Rear (Public Facility/Institutional)	15'	5' or 0' within an enclosed service yard
Landscaping (% of net lot area)	N/A	14.3%
Parking	Warehouse 1 sp/1000 sf =7 spaces Light Manufacturing 1sp/500 sf = 14 spaces Office 1 sp/250 sf = 41 spaces	57 spaces provided

DISCUSSION

The project is currently in first review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

Site

As part of this design review, all existing buildings, not including the main office building along Guadalupe Road, will be demolished to make room for the new proposed warehouse/office building. The majority of the site is an industrial service yard and gated from the public; one gate on the east side of the property exists with a parking lot along Guadalupe Road frontage. The existing parking lot along Guadalupe Road and property line were recently modified during the widening of Guadalupe Road with ST094 and the parking lot is non-conforming to current LDC development standards for landscape requirements. As it is an existing parking lot, changes to this area will not be required as part of this design review. One additional gated entrance to the service yard is proposed on the west side of the property and will create a looped roadway around the new building. The 19,840 square foot building is “L shaped” and will be located to the west of the main office building.

Landscape

The site has some existing landscape to the north of the service yard wall. Additional landscape is proposed to meet landscape requirements including the addition of Mondel Pines, the street theme tree for the area. Landscape is not proposed behind the service yard wall as it is not required within fully enclosed industrial service yards. *1st review comments include modifying the landscape plan to reflect the existing right-of-way improvements.*

Grading and Drainage

As part of the CIP project ST098, a storm drain for street run-off was built on this site and flows to the retention basin at the southwest end. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert’s Engineering Division.

Elevations, Floor Plan, Colors and Materials

The new building will be constructed from concrete tilt panel and stucco in a modified “L” shape. The two main body colors of the building will be light beige’s “Ivoire” and “Independent Gold”. The colors are similar to the existing main office building. The lower base of the building is a darker shade to help visually ground the building. The north elevation that will be seen along Guadalupe road will house the 2-story office section and has windows on both stories. Metal accents are shown over some windows. Wing walls are proposed at the sides of the building and at the middle of the north elevation to provide movement. The west elevation has recessed segments and floor to ceiling windows are proposed at the in-seam of the projected segments of wall panels to provide articulation. Two 6” bands wrap around the building to provide horizontal movement. The internal east elevation will have loading docks and is internal to the site behind the service yard screen wall.

The height of the parapet is at 30’ with wing walls reaching 32’ in height. The floor plan shows a 2-story office along the north elevation with a warehouse at the rear. *1st review comments include revising the 2D elevations to better illustrate the color changes and exploring ways to add variety to the color of the building and providing metal canopies over windows that are proportionate in size to the mass of the building.*

Lighting

There are only three lighting types proposed: parking lot, building wall mounted, and recessed lighting at the loading dock. Building mounted lighting is proposed at 14’ height. *1st review comments include adjusting the parking lot lighting to meet town codes for location and level of illuminance.*

Signage

Signage is not included in this approval. Administrative Design Review approval is required prior to permitting for any proposed monument signage.

The applicant has requested construction document (cd) at-risk. Staff would only support cd at-risk if the applicant is able to address all Planning Commission comments and 2nd review comments prior to cd submittal.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. Colors, materials, and articulation of the building

Respectfully submitted.

Stephanie Bubenheim
Planner II



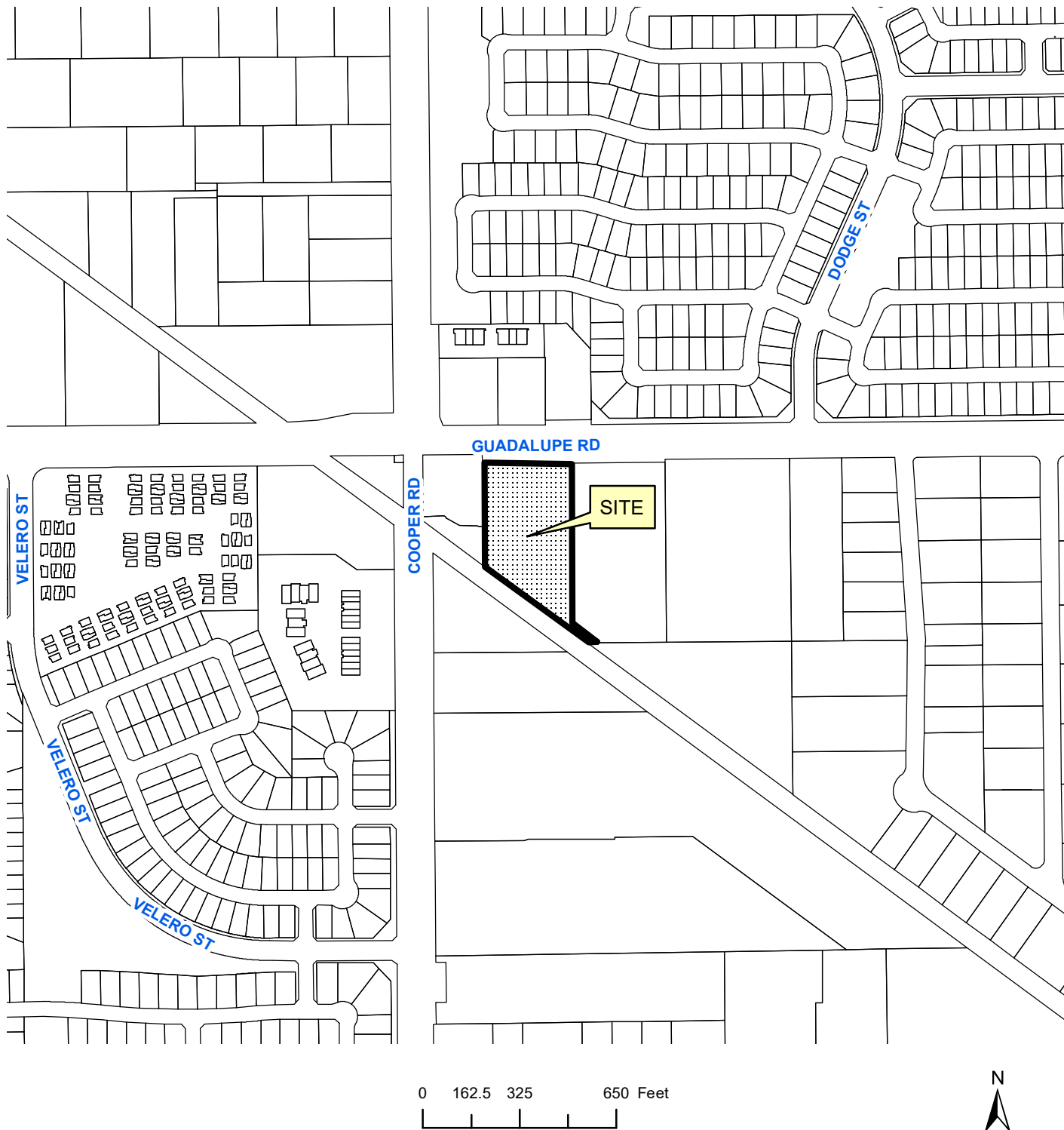
Attachments and Enclosures:

- 1) Vicinity Map
- 2) Aerial Photo
- 3) Site Plan
- 4) Demo Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Colors and Materials
- 8) Elevations
- 9) Floor Plans
- 10) Lighting

DR20-47 BushTex Building

Vicinity Map

SITE LOCATION:

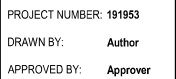


Helmut John Hammen Archite

HJH Architecture LLC

8337 E. MONTEREY WAY
602 758 7437

SCOTT SI
helmutjohn

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A101





BUSHTEX BUILDING
723 W GUADALUPE ROAD , GILBERT AZ 85233



PROJECT DATA

SCOPE OF WORK:	NEW BUILDING		
TENANT NAME:	BUSHTEX		
MUNICIPALITY:	TOWN OF GILBERT		
PROJECT ADDRESS:	723 W GUADALUPE ROAD GILBERT AZ 85233		
GOVERNING CODES:	ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING, BUT NOT LIMITED TO THE LATEST EDITIONS OF THE FOLLOWING:		
BUILDING:	2018 I.B.C. (INCLUDING AMENDMENTS)		
ELECTRICAL:	2018 N.E.C. (INCLUDING AMENDMENTS)		
MECHANICAL:	2018 I.M.C. (INCLUDING AMENDMENTS)		
PLUMBING:	2018 I.P.C. (INCLUDING AMENDMENTS)		
FIRE:	2018 I.F.C., 2010 NFPA (INCLUDING AMENDMENTS)		
ACCESSIBILITY:	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN		
HEALTH:	MARICOPA COUNTY		
ENERGY:	2018 I.E.C.C.		
APN:	302-15-001E		
ZONING:	LI (LIGHT INDUSTRY)		
BUILDING AREA:	19,840 SQ. FT. 16,690 S.F. FIRST FLOOR 2,910 S.F. SECOND FLOOR		
TENANT BUILDING AREA:	FACTORY (F) STORAGE (S) OFFICE (B)		6,770 SQ. FT. 6,770 SQ. FT. 6,300 SQ. FT.
CONSTRUCTION TYPE:	TYPE II-B		
OCCUPANT LOAD:	F 6,770 SQ. FT. / 100 SQ. FT. PER OCCUPANT = 68 OCCUPANTS S 6,770 SQ. FT. / 500 SQ. FT. PER OCCUPANT = 14 OCCUPANTS B 6,300 SQ. FT. / 150 SQ. FT. PER OCCUPANT = 42 OCCUPANTS TOTAL = 124 OCCUPANTS		
EGRESS CALCULATION:	MINIMUM EXITS REQUIRED: 2 EXITS PROVIDED: 4 TWO EXISTING EXIT STAIRS PROVIDE 72" MINIMUM EGRESS WIDTH		
EMERGENCY LIGHTING:	YES		
STANDPIPES:	YES		
FIRE SPRINKLERS:	YES		
FIRE ALARMS:	YES		
FIRE EXTINGUISHERS:	INSTALLED PER IFC 906 AND NFPA 10		

PARKING

REQUIRED PARKING:		
BLDG A - 1ST FLOOR	2,270 SF	
BLDG B - 1ST FLOOR	5,390 SF	
BLDG B - 2ND FLOOR	<u>2,770 SF</u>	
TOTAL OFFICE	10,360 SF	
BLDG B - 1ST FLOOR	<u>9685 SF</u>	
TOTAL WAREHOUSE	9685 SF	
PARKING:		
WAREHOUSE (S-1) REQUIRED	4,500 SF/1000	5 SPACES
MANUFACTURING (F-1) REQUIRED	5,000 SF/500	10 SPACES
OFFICE (B) REQUIRED	10,430 SF/250	42 SPACES
TOTAL PARKING REQUIRED		57 SPACES
TOTAL PARKING PROVIDED		57 SPACES
ACCESSIBLE PARKING REQUIRED		2 SPACES
ACCESSIBLE PARKING PROVIDED		2 SPACES

DRAWING INDEX

PROJECT NARRATIVE

THE PROJECT CONSIST OF DEMOLISHING SEVERAL EXISTING BUILDINGS. THE EXISTING MAIN BUILDING WILL REMAIN. A NEW BUILDING WILL BE USED FOR LIGHT MANUFACTURING, OFFICE AND WAREHOUSE.

DEFERRED SUBMITTALS

FIRE SPRINKLER SCOPE AND ALL LIFE SAFETY DEVICES AND ALARM ARE REQUESTED TO BE CONSIDERED FOR DEFERRED SUBMITTAL STATUS. STOREFRONT CALCULATIONS ARE ALSO REQUESTED TO BE CONSIDERED FOR DEFERRED SUBMITTAL STATUS.

PROJECT DIRECTORY

OWNER: BUSHNET SATELLITE
723 E GUADALUPE RD
GILBERT AZ 85233
ADELAIDA SEVERSON
PH: 480 471 6688
adelaida@bushnetx.com

CIVIL: LANDCOR CONSULTING
6859 E REIMBART AVE #124
MESA AZ 85212
WADE COOKE
PH: 480 223 8573
wade@landcorconsulting.com

LANDSCAPE: HARRINGTON PLANNING & DESIGN
1921 S ALMA RD #204
MESA AZ 85210
JASON HARRINGTON
PH: 480 290 0116
jason@harringtonplanningdesign.com

STRUCTURAL: STRUCTURAL ENGINEERING
EXCELLENCE INC.
2831 E POWELL WAY
GILBERT AZ 85298
DEREK HANSON
PH: 480 414 5051
dhanson@seeezengineering.com

ARCHITECT: HELMUT JOHN HAMMEN
ARCHITECTURE LLC
8337 EAST MONTEREY WAY
SCOTTSDALE AZ 85251
JOHN HAMMEN
PH: 602 758 7437
helmutjohn@hotmail.com

MECHANICAL/PLUMBING: BORUM + MARTIN LLC
10201 S 51ST ST #125
PHOENIX AZ 85044
JASON BORUM
PH: 602 475 8702
jason@borummartin.com

ELECTRICAL: EDESIGN GROUP LLC
2415 E CAMELBACK RD #700
PHOENIX AZ 85016
PAUL HALUM P.E.
PH: 602 560 3344
pauh@edesigngroup.org

LOCATION MAP



PROJECT LOCATION: 723 E GUADALUPE ROAD
GILBERT AZ 85233

Helmut John Hammen Architecture LLC
8337 E. MONTERRAY WAY
602 756 7437
SCOTTSDALE AZ 85251
helmutjohn@hotmail.com

PROJECT ISSUE:
ESIGN REVIEW

DESIGN REVIEW

AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING

02/26/60



PROJECT NUMBER: 191953

DRAWN BY: FM

APPROVED BY: HJH



BUSHTEX

BUSHTEX
BUILDING

23 E GUADALUPE RD
GILBERTAZ 85233

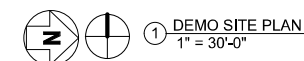
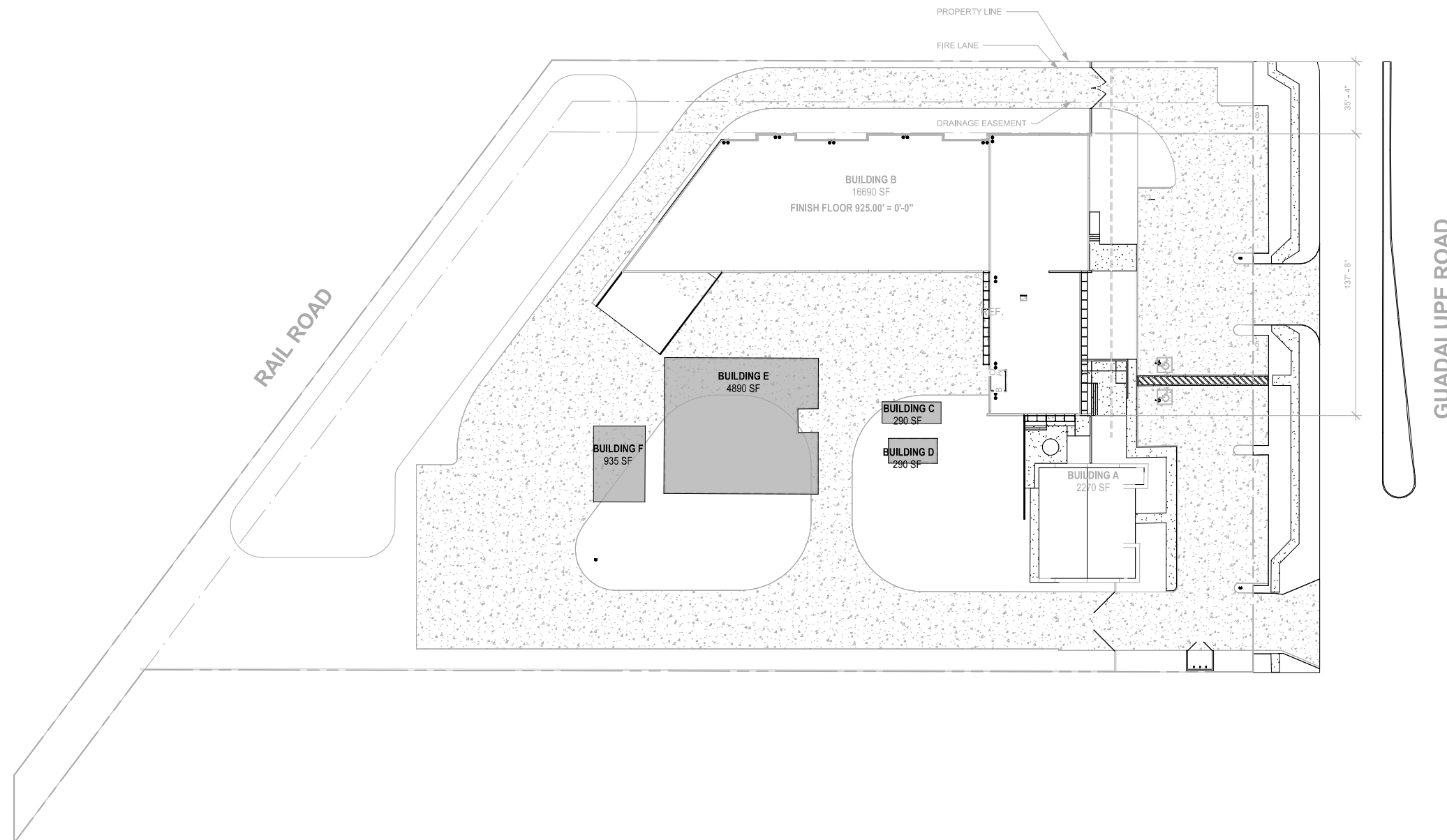
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SHEET TITLE

COVER SHEET

G100

DR20-47 Bushtex
Attachment 4: Demo Plan



HJ
Helmut John Hammen Architecture LLC

HJH Architecture LLC 8337 E. MONTEREY WAY
602 758 7437

SCOTTSDALE AZ 85251
helmutjohn@hotmail.com

PROJECT ISSUE:
DESIGN REVIEW

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02/26/20



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver



BUSHTEX

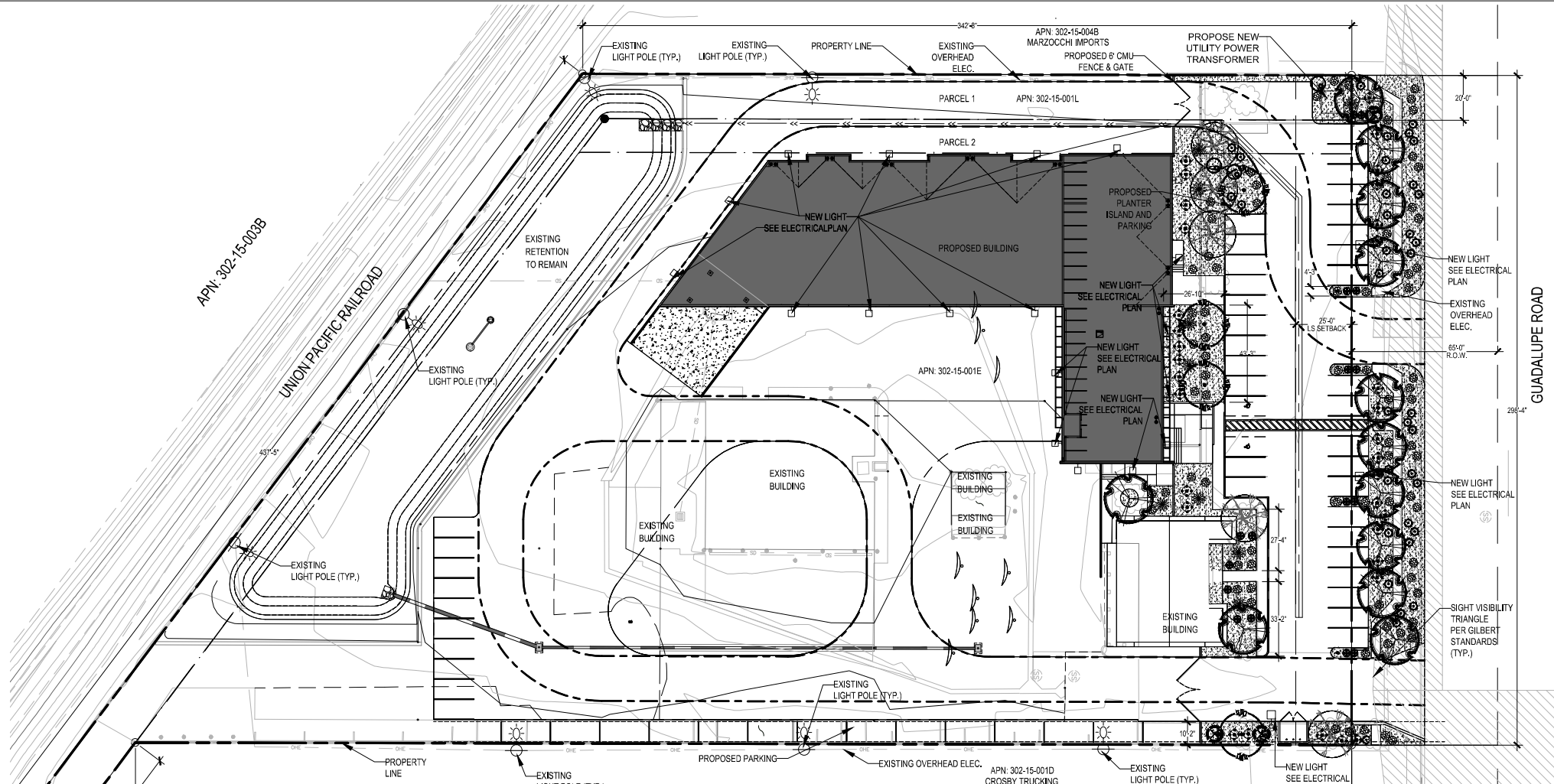
BUSHTEX
BUILDING

723 E GUADALUPE RD
GILBERT AZ 85233

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SHEET TITLE
DEMO SITE
PLAN

D101



LANDSCAPE NOTES

1. PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
2. CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
3. HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY; REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
4. UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
5. UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
6. INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
7. QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING A INDEPENDENT QUANTITY TAKE OFF.
8. OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
9. MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.

10. APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
11. ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
12. THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
13. ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
14. CONTRACTOR SHALL FINE GRADE AREAS PRIOR TO PLANTING. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC., FROM THE SITES, FORMING LOW-FLOW CHANNEL FOOTPRINTS AS NOTED ON THE PLANS, BACKFILLING BEHIND BOULDERS ON LOW-FLOW CHANNEL SLOPES, AND ENSURE POSITIVE DRAINAGE.
15. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS, WALLS, UTILITY EQUIPMENT, ETC.
16. PLANT MATERIAL LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
17. THE IRRIGATION SYSTEM IS TO BE FULLY OPERATIONAL AND EFFECTIVE PRIOR TO THE INSTALLATION OF PLANT MATERIAL.

TOWN OF GILBERT GENERAL NOTES

1. ALL DESIGN AND CONSTRUCTION MUST BE IN ACCORDANCE WITH THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AS AMENDED BY THE TOWN OF GILBERT (LATEST VERSION).
 2. THE CONTRACTOR SHALL NOTIFY THE TOWN OF GILBERT ENGINEERING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF ANY CONSTRUCTION FOR INSPECTION. CALL (480) 503-6847.
 3. PLACEMENT OF DRIVEWAYS SHALL NOT BE IN CONFLICT WITH UTILITY SERVICES.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE RELOCATION OF POWER POLES AND OTHER UTILITIES.
 5. CONTRACTOR TO ADJUST ALL VALVES, MANHOLES, CLEANOUTS, ETC. BOTH NEW AND OLD TO FINISH PAVEMENT GRADE PER STANDARD DETAILS.
 6. ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL INTERESTED UTILITY COMPANIES AND HAS TRANSFERRED ALL EXISTING, AND/OR PROPOSED UTILITY LINES AND RELATED INFORMATION ONTO THESE PLANS, AND THAT HE HAS ALSO CORRECTLY PLOTTED THE EXISTING AND PROPOSED RIGHT-OF-WAY EASEMENT LINES.
 7. ALL IMPROVEMENTS WITHIN THE RETENTION BASIN AND/OR ROADWAY PARKWAYS SHALL BE IN ACCORDANCE WITH THE LATEST TOWN OF GILBERT PROCEDURES FOR DEVELOPERS AND ENGINEERS.
 8. CONTRACTOR IS ADVISED THAT AN EXCAVATION AND DIRT MOVING PERMIT IS REQUIRED BY THE MARICOPA COUNTY HEALTH DEPARTMENT AND THE TOWN OF GILBERT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS PERMIT AND COMPLY WITH ITS REQUIREMENTS.
 9. ALL LANDSCAPING SHALL COMPLY WITH TOWN OF GILBERT STANDARDS DETAIL 92 OR 93 (WHICHEVER IS APPLICABLE) AT TIME OF INSTALLATION. ALL SPRINKLER AND LANDSCAPE WORK MUST BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN OF GILBERT PROCEDURE MANUAL.
 10. NO WALLS, BUILDINGS, OR OBSTRUCTIONS TO VIEW IN EXCESS OF TWO (2) FEET IN HEIGHT SHALL BE PLACED ON ANY CORNER LOT WITHIN A TRIANGULAR AREA FORMED BY THE CURB LINES AND A LINE CONNECTING THEM AT POINTS 33 FEET FROM THE INTERSECTION OF THE CURB LINES. TREES MAY BE LOCATED WITHIN THE TRIANGLE PROVIDED THEY ARE PRUNED HIGH ENOUGH (7 FOOT MIN.) TO PERMIT UNOBSTRUCTED VIEW. SEE TOWN OF GILBERT STANDARD DETAIL 92.
 11. ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE 50 YEAR 24-HOUR STORM WITHIN N36 HOURS. OWNER(S) OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.
 12. CALL THE BLUE KAKE CENTER (602) 263-1100 48 HOURS BEFORE YOU DIG FOR LOCATION OF UNDERGROUND UTILITIES.
 13. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED ALONG WITH A TRAFFIC CONTROL PLAN APPLICATION AND PERMIT APPLICATION AT LEAST 48 HOURS IN ADVANCE OF THE ANTICIPATED START OF CONSTRUCTION ACTIVITIES.
 14. EXCAVATION AND CONSTRUCTION WORK WILL NOT BE PERMITTED IN PUBLIC RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENTS ON SATURDAY, SUNDAY, OR LEGAL HOLIDAYS UNLESS APPROVED BY THE TOWN ENGINEER.
 15. PERMITS ARE REQUIRED FOR THE FOLLOWING: TRAFFIC SIGNAL INSTALLATION; TRAFFIC SIGNAL INTERCONNECT; SIGNING; PERMANENT MARKERS; AND TEMPORARY TRAFFIC CONTROL.
 16. TRAILS SIGNS SHALL BE INSTALLED AT A MINIMUM OFFSET OF 20' FROM THE TOP OF THE CANAL BANK. TRAIL SIGNS SHALL BE MOUNTED ON A 48" POST AND FOUNDATION, PER TOWN OF GILBERT DETAIL 79. THE COST OF THE POST AND FOUNDATION SHALL BE INCLUDED IN ITEM NUMBER 464.02010.
- ## LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD.
MESA, AZ 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
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JASON@HARRINGTONPLANNINGDESIGN.COM

OWNER CONTACT

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ADELAIDA@BUSHTEX.COM

SITE ADDRESS

723 W GUADALUPE ROAD
GILBERT, ARIZONA 85233

APN: 302-15-001E, 302-15-001L

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD.
MESA, AZ 85210
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APN: 302-15-001E, 302-15-001L







PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
	Existing Tree to Remain - Protect in Place		5
	Pinus eldarica Mondell Pine Caliper Size: 1.5"	24" Box *ADWR	12
	Acacia aneura Mulga Caliper Size: 1.5"	24" Box *ADWR	4


GROUNDCOVERS

	Lantana 'New Gold'	5 Gallon	80
	New Gold Lantana	*ADWR	

SHRUBS / ACCENTS

	Tecoma 'Sparky' Sparky Tecoma	5 Gallon	3	*ADWR
	Leucophyllum 'Lynn's Legacy' Lynn's Legacy Texas Sage	5 Gallon	3	*ADWR
	Ruellia peninsularis Baja Ruellia	5 Gallon	33	*ADWR
	Convolvulus cneorum Bush Morning Glory	5 Gallon	36	*ADWR
	Hesperaloe parviflora 'Perpa' Brake Lights Red Yucca	5 Gallon	16	*ADWR
	Agave weberi Weber Agave	5 Gallon	9	*ADWR

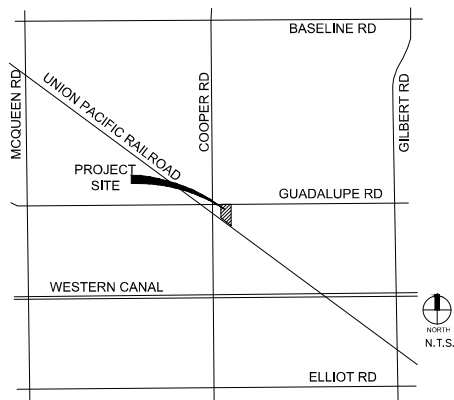
LANDSCAPE MATERIALS

	Decomposed Granite. 1/2" screened, Madison Gold, 2" deep in planting areas per plan.	10,186 sq. ft.
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*ADWR = Arizona Department of Water Resources Approved
Low-Water Use Plant

*SVT = Sight Visibilty Triangle

VICINITY MAP



PROJECT DATA TABLE

GROSS SITE AREA TOTAL*:	137,378 SF / 3.153 AC
NET SITE AREA TOTAL*:	121,532 SF
LANDSCAPE AREA TOTAL:	70,260 SF
ON-SITE LANDSCAPE AREA:	17,389 SF
OFF-SITE LANDSCAPE AREA:	52,871 SF
% LANDSCAPE COVERAGE (ON-SITE LANDSCAPE AREA	14.3%

*INCLUDES PARCELS 1 & 2

	PROVIDED AREA	REQ'D PLANTS	PROVIDED PLANTS
ARTERIAL FRONTAGE			
1 TREE/25 LF FRONTAGE	239 LF FRONTAGE	10 TREES	11 TREES
3 SHRUBS PER TREE		30 SHRUBS	81 SHRUBS
PARKING LOT (EX. FINGER ISLANDS ARE LESS THAN 4'W)			
1 TREE/ISLAND	1 ISLANDS	1 TREES	1 TREES
3 SHRUBS PER TREE		3 SHRUBS	20 SHRUBS

DESCRIPTION OF WORK

LANDSCAPE WORK FOR THIS PROJECT WILL CONSIST OF ADDITIONAL PLANTING IN THE FRONTAGE AND PARKING LOT AREA. DECOMPOSED GRANITE GROUND COVER SHALL BE USED IN ALL PLANTING AREAS. AN AUTOMATIC DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE ADEQUATE WATER TO PLANTS. EXISTING PLANTING IN SOUTH RETENTION AREA IS TO REMAIN AND IRRIGATION FOR THAT AREA WILL BE CONNECTED TO NEW SYSTEM FOR FRONTAGE AND PARKING LOT.

DR20-47 Bushtex
Attachment 5: Landscape

BUSHTEX BUILDING

723 W Guadalupe Road
Gilbert, Arizona 85233

[illegible]

REV.	COMMENT	DATE
	Prelim Submittal	02.27.17
	ISSUE	DATE

PRELIMINARY
LANDSCAPE PACKAGE

FEBRUARY 27, 2020

CHECK BY:	JEH
PROJ. NO.:	2020-006
CASE NO.:	-



PRELIMINARY
LANDSCAPE PLAN

L1.1

1 of 1



PRELIMINARY GRADING & DRAINAGE PLAN

RETENTION CALCULATIONS

RETENTION REQUIRED:

V = DAC

V=VOLUME (C.F.)
D=FIFTY-TO-60, 24-HOUR RAINFALL DEPTH=0.25 FEET
A=CONTRIBUTING AREA IN S.F.
C=WEIGHTED RUNOFF COEFFICIENT

PARCEL 1 & 2	AREA (S.F.)	C
STREET R/W	137,378	
TOTAL	19,382	
ROOFS & CONC.	26,680	0.95
ASPHALT	10,049	0.90
DESERT LANDSCAPING	26,045	0.70
TOTAL	156,775	

WEIGHTED C = 0.87

$V = (0.25)(156,775)(0.87) = 34,099 \text{ C.F.}$

RETENTION PROVIDED:

RETENTION BASIN	15,111 S.F.
TOP AREA	8,847 S.F.
DEPTH	3.0'
VOLUME	$V_p = 35,837 \text{ C.F.}$

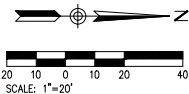
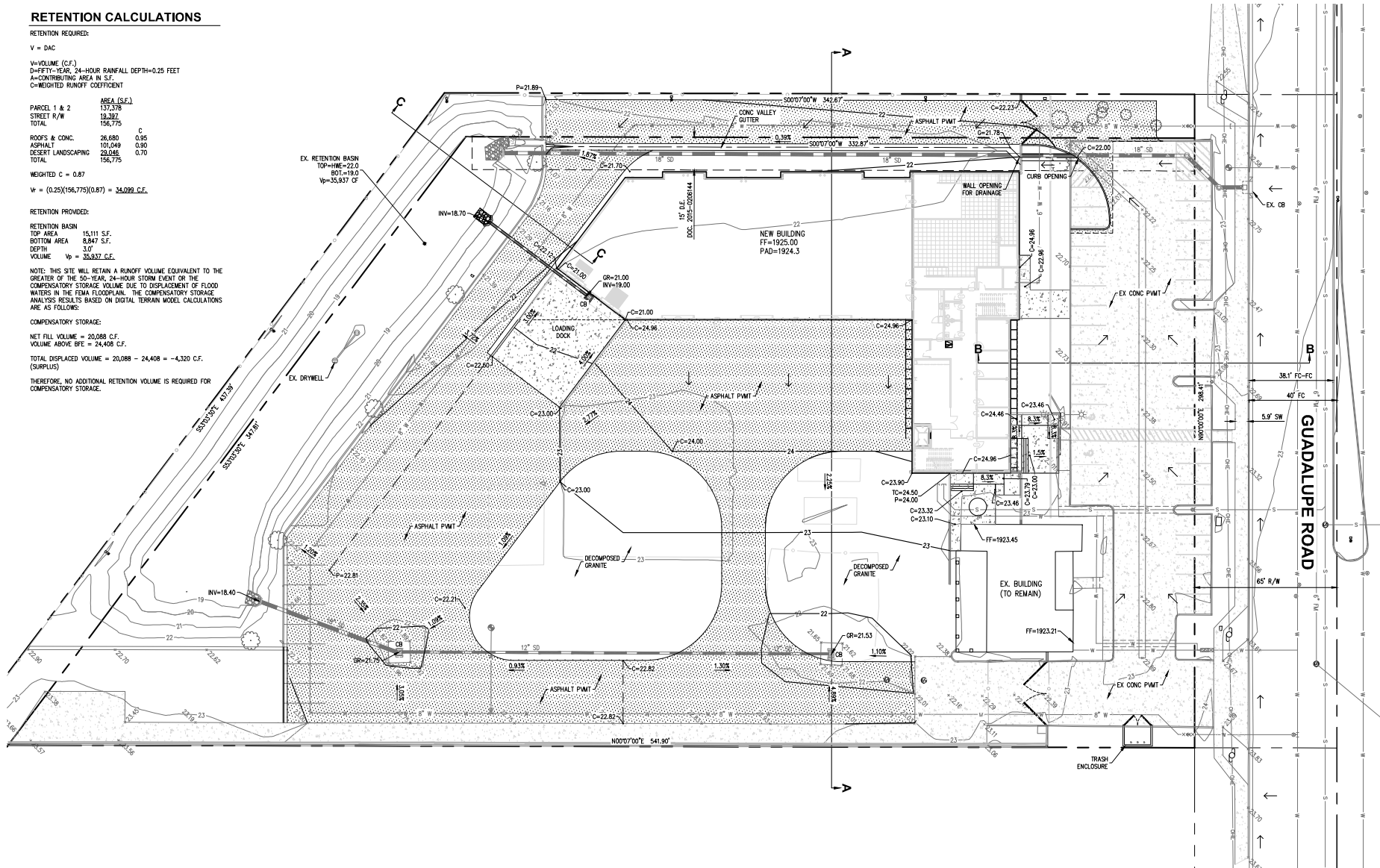
NOTE: THIS SITE WILL RETAIN A RUNOFF VOLUME EQUIVALENT TO THE GREATER OF THE 50-YEAR, 24-HOUR STORM EVENT OR THE COMPENSATORY STORAGE VOLUME DUE TO DISPLACEMENT OF FLOOD WATERS IN THE FEMA FLOODPLAIN. THE COMPENSATORY STORAGE ANALYSIS RESULTS BASED ON DIGITAL TERRAIN MODEL CALCULATIONS ARE AS FOLLOWS:

COMPENSATORY STORAGE:

NET FILL VOLUME = 20,088 C.F.
VOLUME ABOVE BFE = 24,408 C.F.

TOTAL DISPLACED VOLUME = 20,088 - 24,408 = -4,320 C.F. (SURPLUS)

THEREFORE, NO ADDITIONAL RETENTION VOLUME IS REQUIRED FOR COMPENSATORY STORAGE.



CONSTRUCTION NOTES

SEWER

1. CONNECT TO EXISTING SEWER STUB. CONTRACTOR SHALL VERIFY SEWER INVERT ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. TRENCH & INSTALL 4" PVC (SDR-35) SEWER PIPE, BEDDING PER T.O.G. STD. DTL. QIL-401.
3. CONSTRUCT SEWER CLEANOUT PER M.A.G. STD. DTL. 441.
4. CONNECT TO BUILDING PLUMBING AT 5' FROM FACE OF BUILDING (SEE PLUMBING PLANS FOR CONTINUATION).
5. SAWCUT, REMOVE, AND REPLACE EXISTING CONCRETE, CURB, AND SIDEWALK. REMOVE CURB AND SIDEWALK TO NEAREST CONTROL JOINT. REPLACE ALL ITEMS IN KIND.

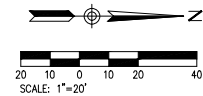
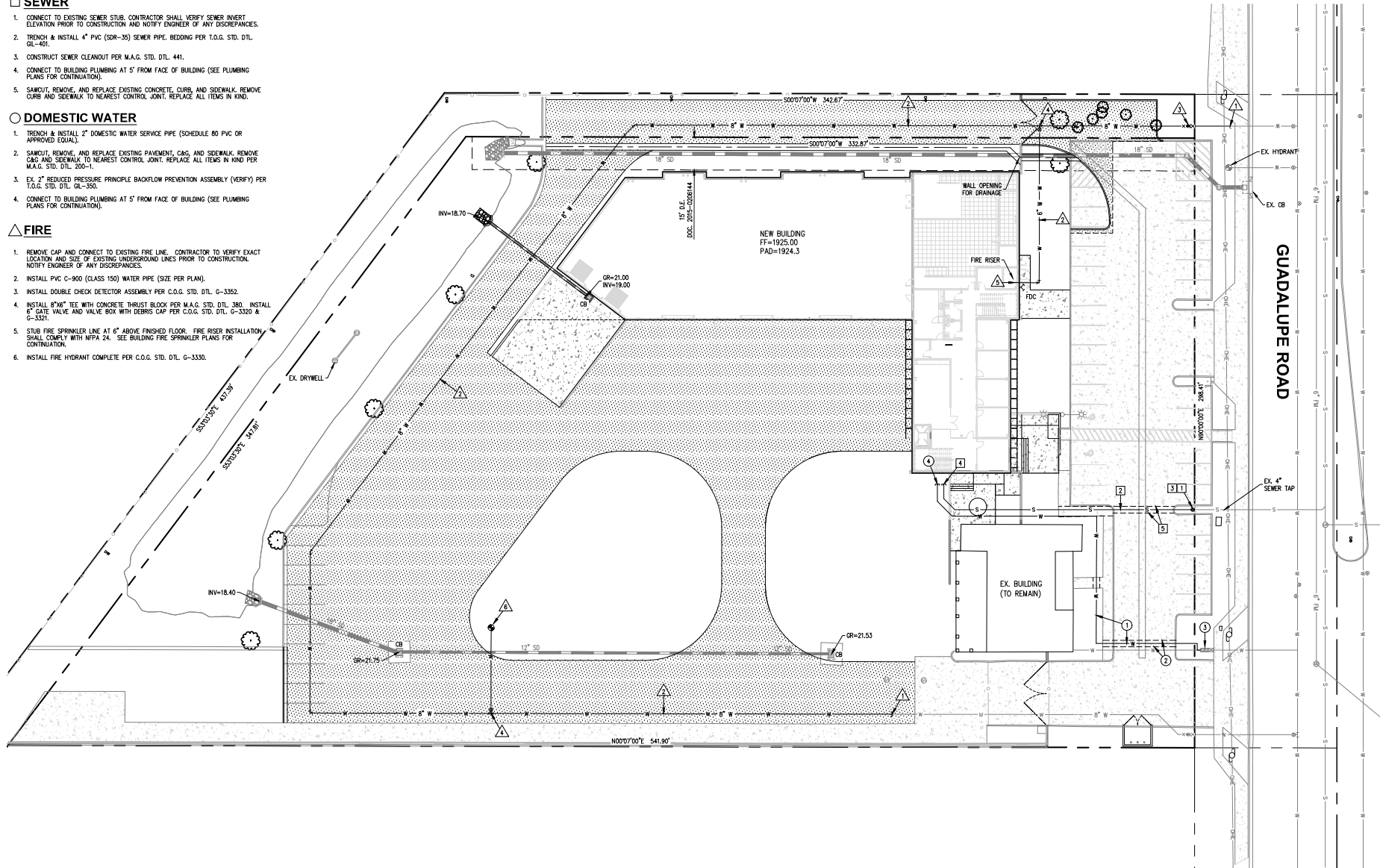
DOMESTIC WATER

1. TRENCH & INSTALL 2" DOMESTIC WATER SERVICE PIPE (SCHEDULE 80 PVC OR APPROVED EQUAL).
2. SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT, C&G, AND SIDEWALK. REMOVE C&G AND SIDEWALK TO NEAREST CONTROL JOINT. REPLACE ALL ITEMS IN KIND PER M.A.G. STD. DTL. 200-1.
3. EX. 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (VERIFY) PER T.O.G. STD. DTL. QIL-350.
4. CONNECT TO BUILDING PLUMBING AT 5' FROM FACE OF BUILDING (SEE PLUMBING PLANS FOR CONTINUATION).

FIRE

1. REMOVE, CAP AND CONNECT TO EXISTING FIRE LINE. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE OF EXISTING UNDERGROUND LINES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. INSTALL PVC C-900 (CLASS 150) WATER PIPE (SIZE PER PLAN).
3. INSTALL DOUBLE CHECK DETECTOR ASSEMBLY PER C.O.G. STD. DTL. G-3352.
4. INSTALL 8"x6" TEE WITH CONCRETE THRUST BLOCK PER M.A.G. STD. DTL. 380. INSTALL 6" GATE VALVE AND VALVE BOX WITH DEBRIS CAP PER C.O.G. STD. DTL. G-3329 & G-3321.
5. STUB FIRE SPRINKLER LINE AT 6" ABOVE FINISHED FLOOR. FIRE RISER INSTALLATION SHALL COMPLY WITH NFPA 24. SEE BUILDING FIRE SPRINKLER PLANS FOR CONTINUATION.
6. INSTALL FIRE HYDRANT COMPLETE PER C.O.G. STD. DTL. G-3330.

PRELIMINARY UTILITY PLAN



REVISIONS:	DATE:

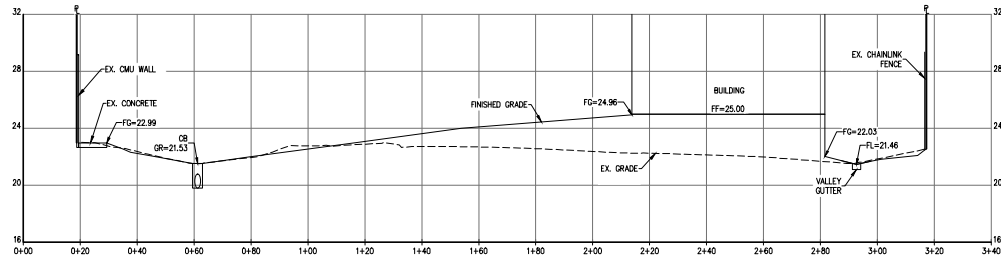
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PRELIMINARY
UTILITIES

DATE: 2/26/20

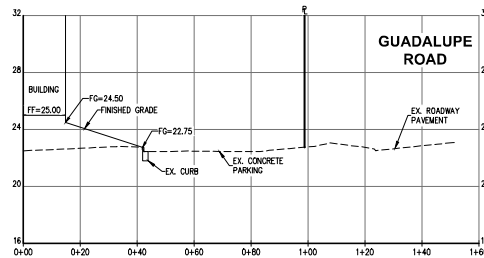
PROJ. #: 1671

C-3
3 OF 3

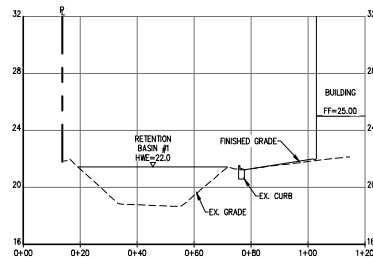
CROSS SECTIONS



SECTION A-A



SECTION B-B



SECTION C-C



MATERIALS BOARD

DR20-47 Bushtex
Attachment 7: Colors & Materials



FIELD COLOR

TILT-WALL OR STUCCO
SHERWIN WILLIAMS
IVOIRE SW 6127



BASE COLOR

TILT-WALL OR STUCCO
SHERWIN WILLIAMS
INDEPENDENT GOLD SW 6401

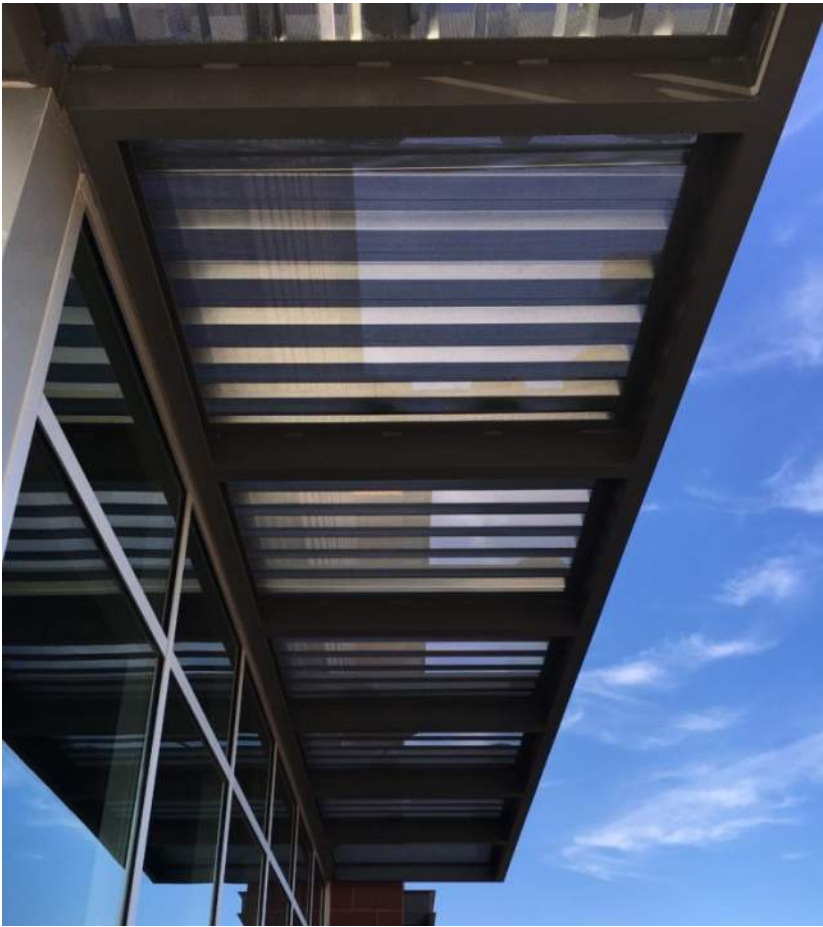


ACCENT COLOR

TILT-WALL OR STUCCO OR METAL
COLOR TO MATCH LOGO OF CLIENT, BUSHTEX

GLAZING

SOLAR BAN 70XL - GREEN



DR20-47 Bushtex

Attachment 8: Elevations

ELEVATION LEGEND

FIELD COLOR
TILT-WALL OR STUCCO
SHERWIN WILLIAMS
IVOIRE SW 6127

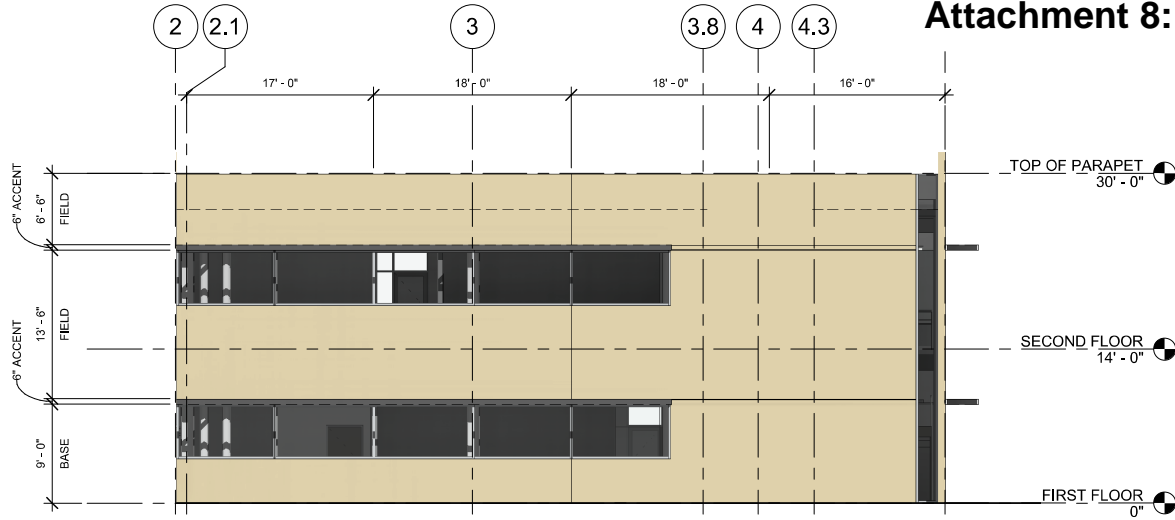


BASE COLOR
TILT-WALL OR STUCCO
SHERWIN WILLIAMS
INDEPENDENT GOLD SW 6401

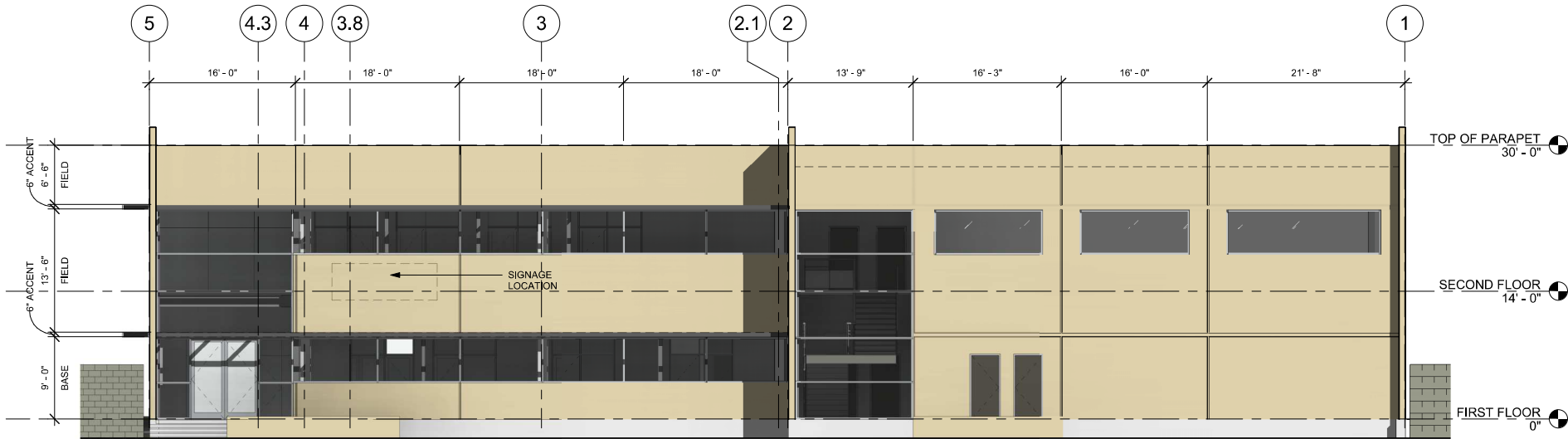


ACCENT COLOR

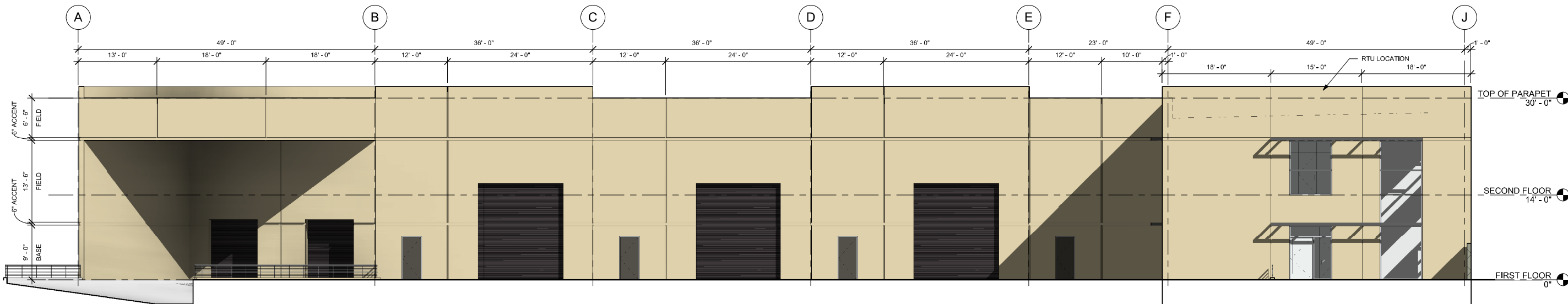
TILT-WALL OR STUCCO OR METAL
COLOR TO MATCH LOGO OF CLIENT, BUSHTEX



③ SOUTH ELEVATION
1/8" = 1'-0"



② NORTH ELEVATION
 $1/8" = 1'-0"$



① EAST ELEVATION
1/8" = 1'-0"

HJH
Helmut John Hammen Architect

8337 E. MONTEREY WAY
602 758 7437

PROJECT ISSUE:
DESIGN REVIEW

DESIGN REVIEW
AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING

11/20/19



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver



BUSHTEX

BUSHTEX
BUILDING

723 E GUADALUPE RD
GILBERTAZ 85233

Date _____

Description

No.

SHEET TITLE
EXTERIOR
ELEVATIONS

A301

FIELD COLOR

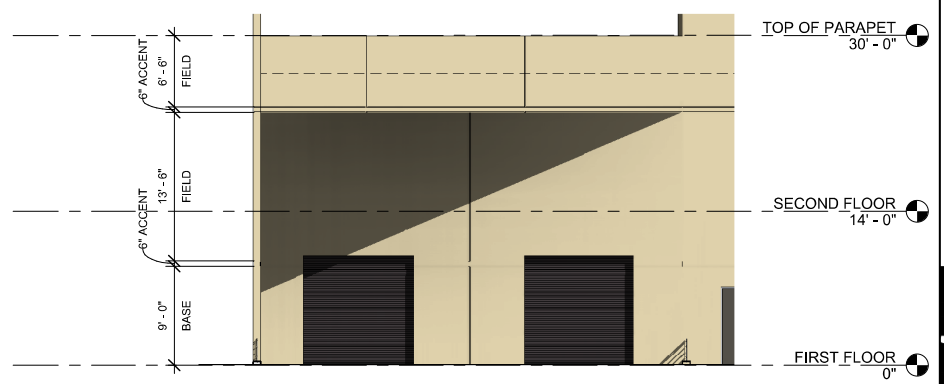
TILT-WALL OR STUCCO
SHERWIN WILLIAMS
IVOIRE SW 6127

BASE COLOR

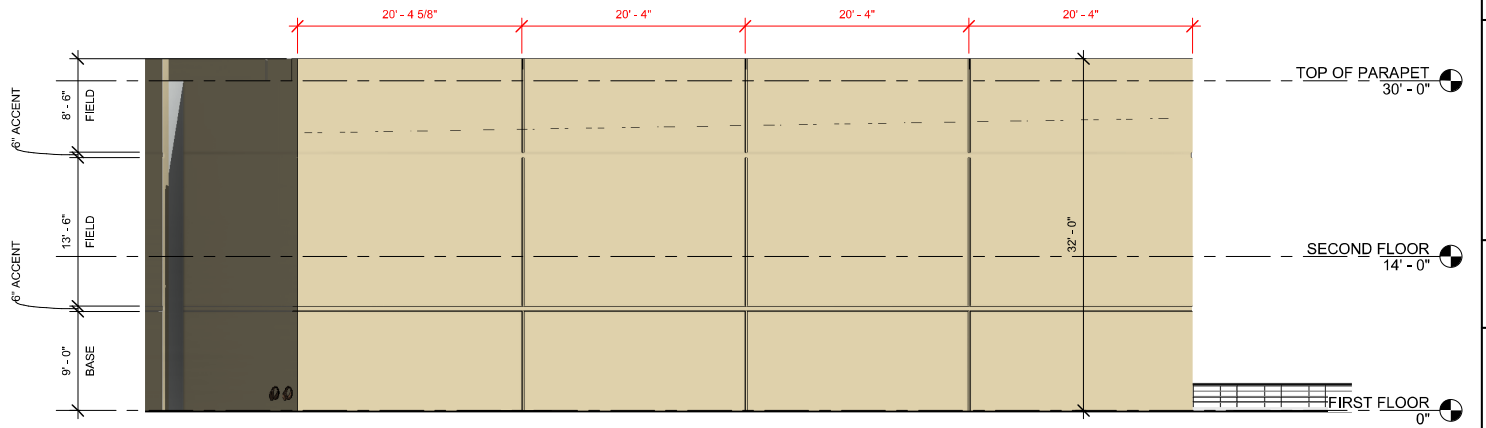
TILT-WALL OR STUCCO
SHERWIN WILLIAMS
INDEPENDENT GOLD SW 6401

ACCENT COLOR

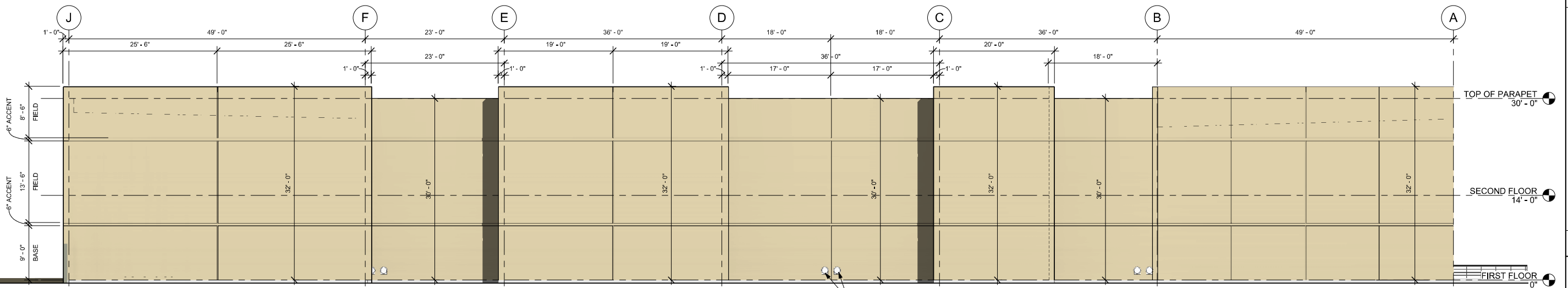
TILT-WALL OR STUCCO OR METAL
COLOR TO MATCH LOGO OF CLIENT, BUSHNET



③ SOUTH EAST ELEVATION
1/8" = 1'-0"



② SOUTH WEST ELEVATION
1/8" = 1'-0"



① WEST ELEVATION
 $1/8" = 1'-0"$

~~HA~~

DESIGN REVIEW
AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING

APPROVED BY: Approver

BUSHTEX
BUILDING

Date _____

[illegible]

SHEET TITLE
EXTERIOR
ELEVATIONS

A302

602 758 7437

Helmur John Hammen Architect
HJH Architecture LLC
8337 E. MONTERRAY WAY
602 758 7437
SCOTTSDALE
helnurjohn@hjharch.com

32886
HELMUT JOHN
HAMMEN
02-26-202
63hed
ARIZONA, U.S.A.

PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver



BUSHTEX

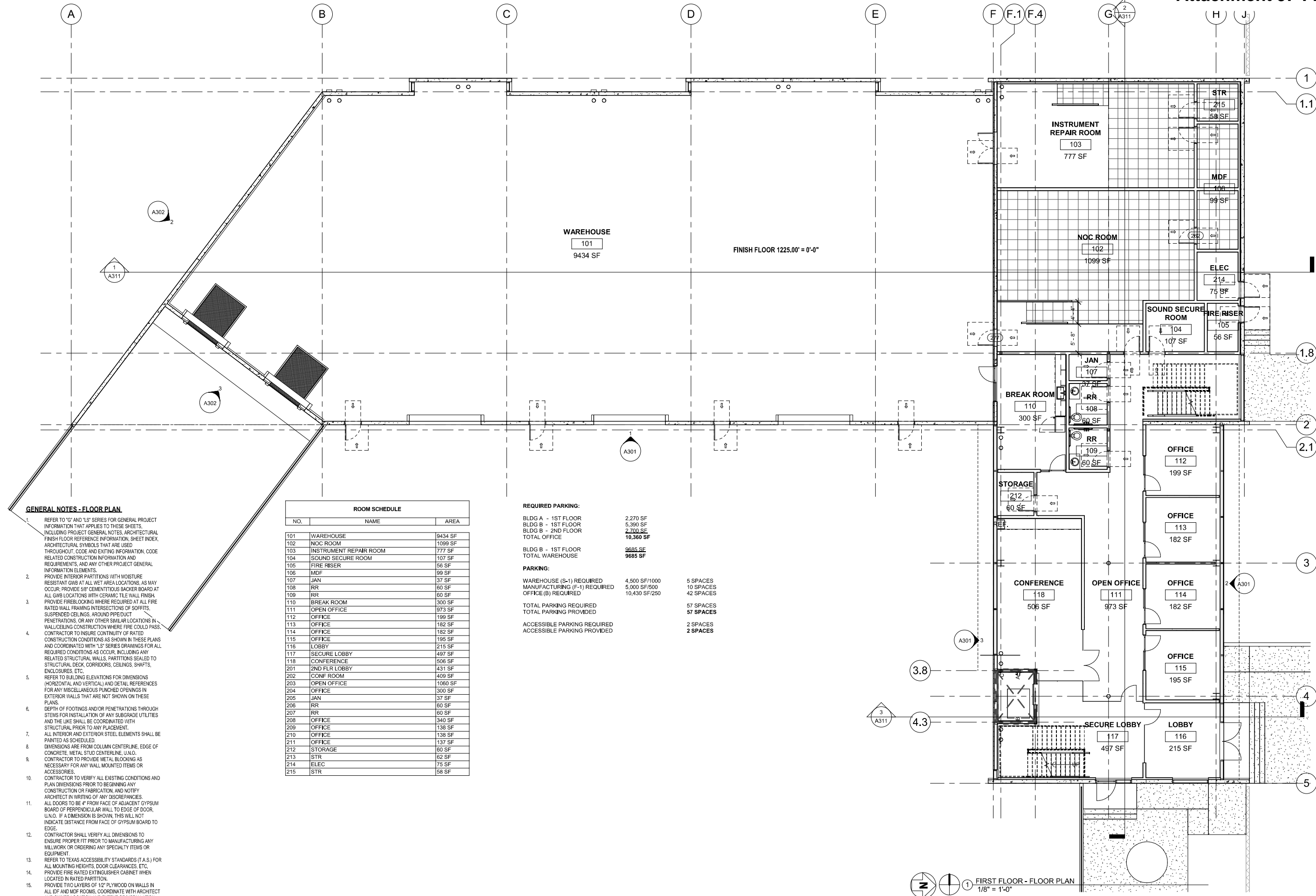
**BUSHTEX
BUILDING**

723 E GUADALUPE RD
GILBERTAZ 85233

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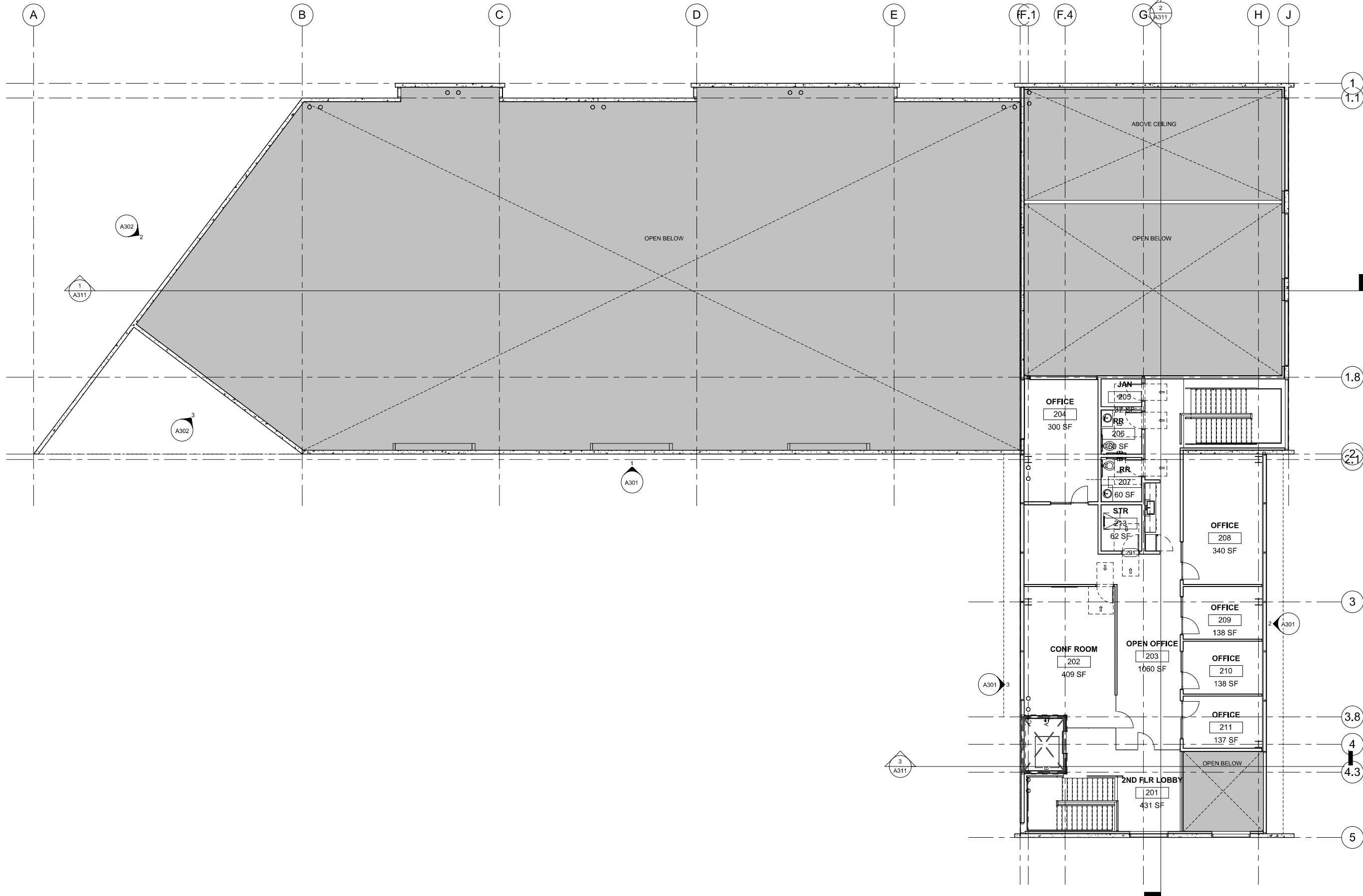
SHEET TITLE
**FIRST FLOOR -
FLOOR PLAN**

A201



\\\\HELMUTSPC\\Data\\Projects\\1953 - BushTex\\Design\\Revit\\1953-BushTex.rvt

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1 SECOND FLOOR - FLOOR PLAN
1/8" = 1'-0"

Helmut John Hammen Architecture LLC



PROJECT ISSUE:
DESIGN REVIEW

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02/26/20



PROJECT NUMBER: 191953

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APPROVED BY: Approver



BUSHTEX

**BUSHTEX
BUILDING**

723 E GUADALUPE RD
GILBERT AZ 85233

Date

Description

No.

SECOND
FLOOR - FLOOR
PLAN

A202

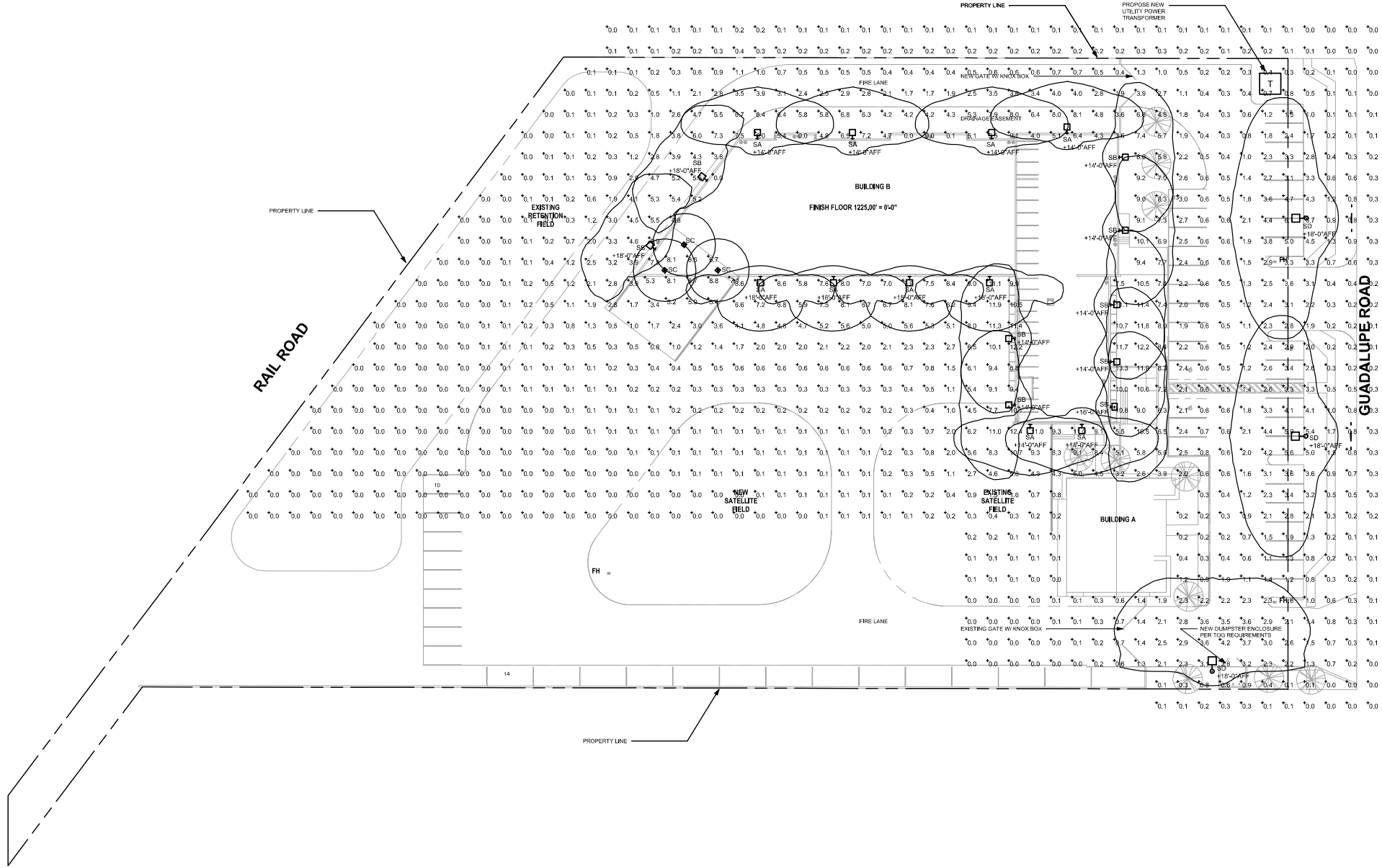
SCOTTSDALE AZ 85251

8337 E. MONTEREY WAY

602 758 7437

helmutjohn@hotmail.com

2/2/2020 4:09:25 PM \\HELMUTSPC\Bui\Projects\1953 - BushTex\Design\Revit\1953-BushTex.rvt



SCHEDULE:

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp
SA	SA	10	Lithonia Lighting	CSXW LED 30C 1000 40K T2M	CONTOUR SERIES LED WALL-MOUNT WITH 30 4000K LEDES OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE II LENS. SEE PLAN FOR MOUNTING HEIGHT.	LED
SB	SB	9	Lithonia Lighting	CSXW LED 30C 1000 40K T3M	CONTOUR SERIES LED WALL-MOUNT WITH 30 4000K LEDES OPERATED AT 1000mA AND PRECISION MOLDED ACRYLIC TYPE II LENS. SEE PLAN FOR MOUNTING HEIGHT.	LED
SC	SC	3	Lithonia Lighting	CNY LED P2 40K MVOLT DDB	Contractor Select CNY LED Canopy P2-6.600in. CEILING MOUNTED AT +18'-4" AFF	
SD	SD	2	Lithonia Lighting	CSX1 LED 60C 700 40K T2M MVOLT SPA RPM RPUMBA	CONTOUR SERIES LED AREA LUMINAIRE WITH 60 4000K LEDES OPERATED AT 700mA AND PRECISION MOLDED ACRYLIC TYPE II LENS. SINGLE HEAD, POLE MOUNTED AT +18'-0" AFG.	LED
SE	SE	1	Lithonia Lighting	CSX1 LED 60C 700 40K T4M HS	CONTOUR SERIES LED AREA LUMINAIRE WITH 60 4000K LEDES OPERATED AT 700mA AND PRECISION MOLDED ACRYLIC TYPE IV LENS WITH HOUSE SIDE SHIELD. SINGLE HEAD, POLE MOUNTED AT +18'-0" AFG.	LED

STATISTICS:

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	1.8 fc	13.3 fc	0.0 fc	N/A	N/A
TRUCK DOCK RAMP	+	7.1 fc	8.8 fc	5.2 fc	1.7:1	1.4:1

DR20-47 Bushtex
Attachment 10: Lighting

Helmut John Hammen Archti

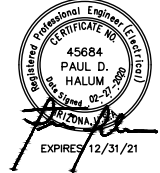
HJH Architecture LLC

SCOTT: helmutj

8337 E. MONTEREY WAY
602 758 7437

PROJECT ISSUE:
SCHEMATIC DESIGN
**BASIS OF
DESIGN REVIEW**
AND
PRELIMINARY
PRICING ONLY.
NOT FOR
CONSTRUCTION
OR PERMITTING

11/2019



PROJECT NUMBER: 191953

DRAWN BY: Author

APPROVED BY: Approver



BUSHTEX

BUSHTEX
BUILDING

723 E GUADALUPE RD
GILBERTAZ 85233

Date

Description

No.

SHEET TITLE
SITE LIGHTING
PHOTOMETRIC
PLAN

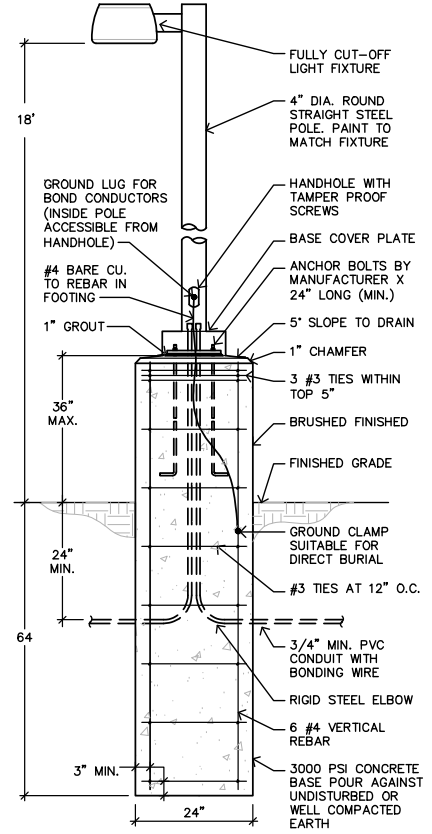
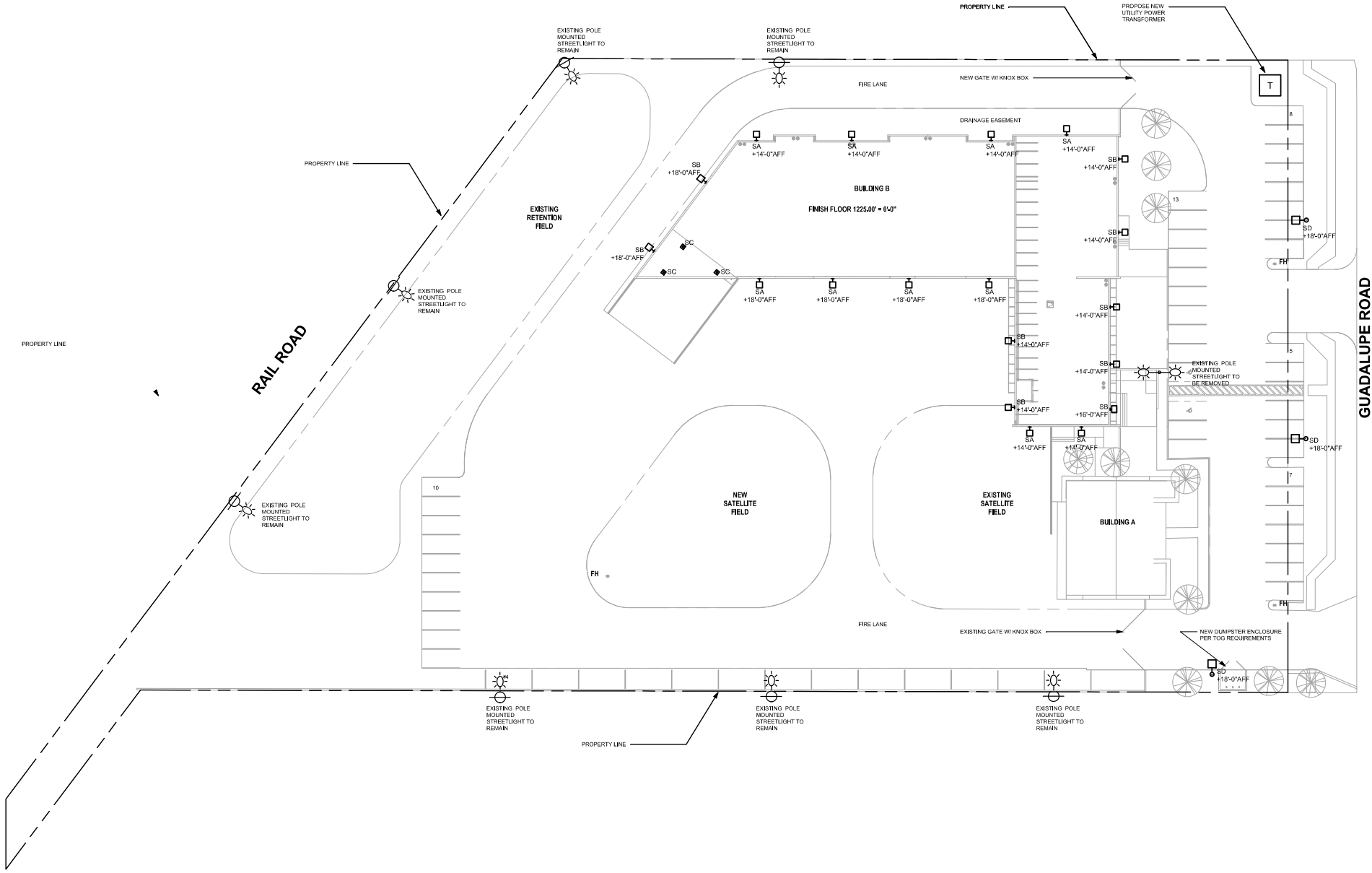
PH100



1 SITE LIGHTING PHOTOMETRIC PLAN
1" = 30'-0"



FIXTURE ID	MANUFACTURER	DESCRIPTION/CATALOG NO.	LAMPS		VOLT	MOUNTING & HEIGHT	REMARKS	SEE NOTE
			NO	TYPE				
SA	LITHONIA LIGHTING	LED WALLPACK / CSXW LED 30C 1000 40K T2M MVOLT DF DDBXD	104W LED 11,321 LUMENS		MVOLT	WALL MOUNTED	SEE PLAN FOR MOUNTING HEIGHT.	
SB	LITHONIA LIGHTING	LED WALLPACK / CSXW LED 30C 1000 40K T3M MVOLT DF DDBXD	104W LED 11,528 LUMENS		MVOLT	WALL MOUNTED	SEE PLAN FOR MOUNTING HEIGHT.	
SC	LITHONIA LIGHTING	LED CANOPY LIGHTING / CNY LED P2 40K	52W 6600 LUMENS		MVOLT	CEILING MOUNTED		
SD	LITHONIA LIGHTING	LED POLE LIGHT / CSX1 LED 60C 700 40K T2M MVOLT RPA RPUMBA DF DDBXD	134W 15590 LUMENS		MVOLT	POLE MOUNTED AT +18'-0" AFG	SEE POLE LIGHT DETAIL.	
SE	LITHONIA LIGHTING	LED POLE LIGHT / CSX1 LED 60C 700 40K T4M MVOLT RPA RPUMBA HS DF DDBXD	134W 16479 LUMENS		MVOLT	POLE MOUNTED AT +18'-0" AFG	SEE POLE LIGHT DETAIL.	



2 POLE MOUNTING DETAIL 'SD' AND 'SE' N.T.S.

NOTES

1. E.P.A. RATINGS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
2. GENERAL CONTRACTOR TO PROVIDE POLE BASE DESIGN SEALED BY PROFESSIONAL STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS FOR POLE BASE DETAIL.
3. CONNECT TO REBAR WITH APPROVED LISTED GROUNDING CLAMPS USED FOR THIS PURPOSE.

Helmut John Hammen Architecture LLC

HJH Architecture LLC

602 758 7437
helmutjohn@hotmail.com

602 758 7437

PROJECT ISSUE:
SCHEMATIC DESIGN
BASIS OF
DESIGN REVIEW
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CONSTRUCTION
OR PERMITTING

1/20/19



PROJECT NUMBER:191953

DRAWN BY: **Autho**

APPROVED BY: Appro



BUSHTEX

BUSHTEX
BUILDING

23 E GUADALUPE RD
GILBERT AZ 85233

No.	Description	Date

SHEET TITLE
ELECTRICAL
SITE LIGHTING
PLAN

E100



① ELECTRICAL SITE LIGHTING PLAN
1" = 30'-0"



[illegible][illegible]
